

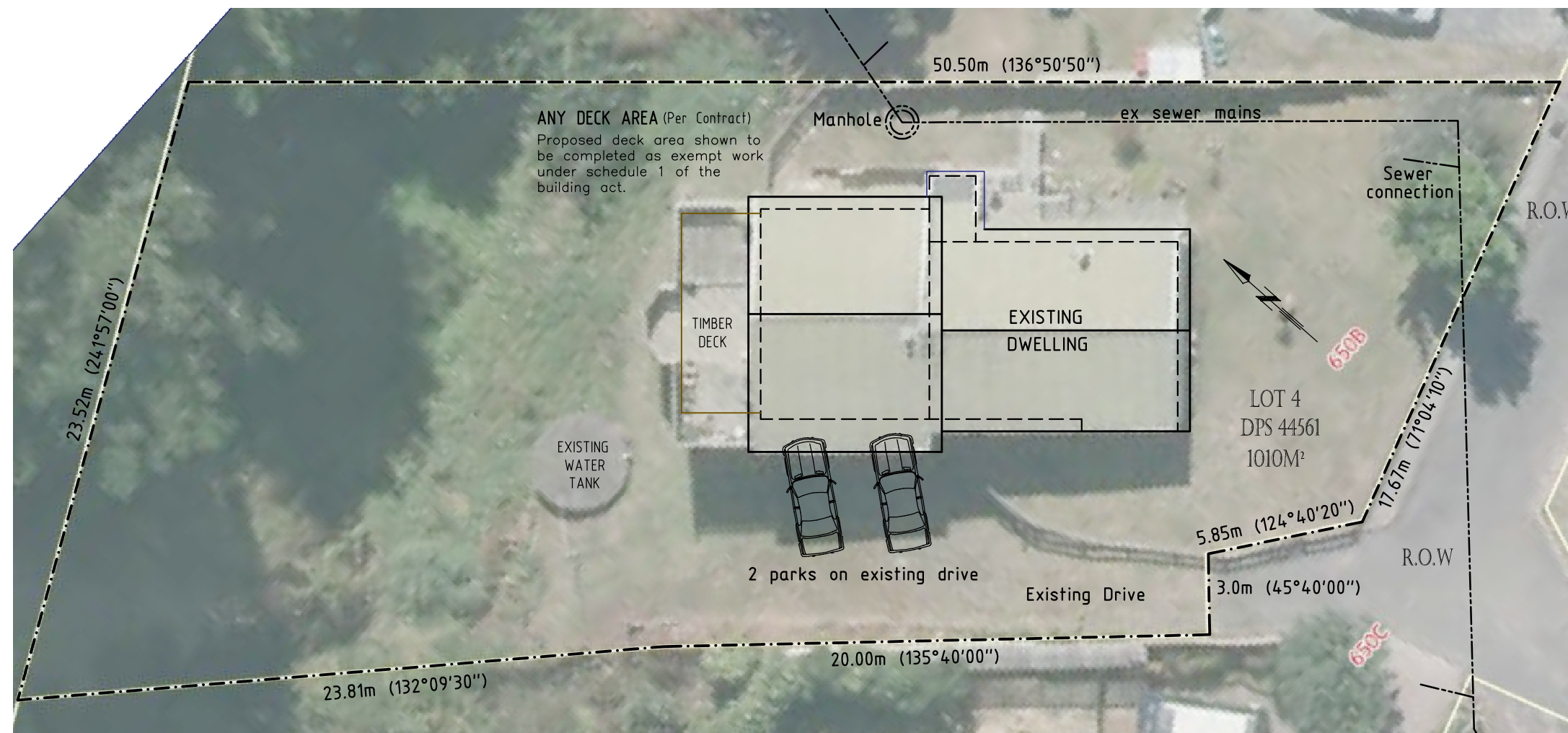
PROPOSED ALTERATIONS 650B HOROTIU ROAD

DRAWING INDEX:

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ATTACHMENTS: (TICK AS ATTACHED)

- A1 - APPLICATION FORM
- A2 - CHECKLIST
- A3 - CERTIFICATE OF TITLE
- A4 - CERTIFICATE OF DESIGN
- C1 - PLANS
- D1 - SPECIFICATIONS
- D2 - H1 CALCULATIONS
- D3 - RISK MATRIX
- E1 - SANIVITE PLUS SEWER PUMP
- E2 - JAMES HARDIES WEATHERBOARD
- E3 - COVERTEK 405 BUILDING PAPER
- E4 - LUMBERLOCK LINTEL FIXING



1 SITE PLAN
SCALE 1:200
RE :

- All plans & relevant documentation must be studied prior to tendering and any concern to material use or detail report to the designer for clarification.
- All workmanship is to comply with the relevant NZBC and territorial authority requirements.
- A preliminary site investigation by main contractor and his subcontractors prior to tendering.
- Any site conditions of concern are to be reported.
- Check the property title and covenant restrictions.
- All steel beams and post dimensions to be checked on site by main contractor prior to manufacture.
- Advise the designer if an alternative frame/truss manufacturer is to be used

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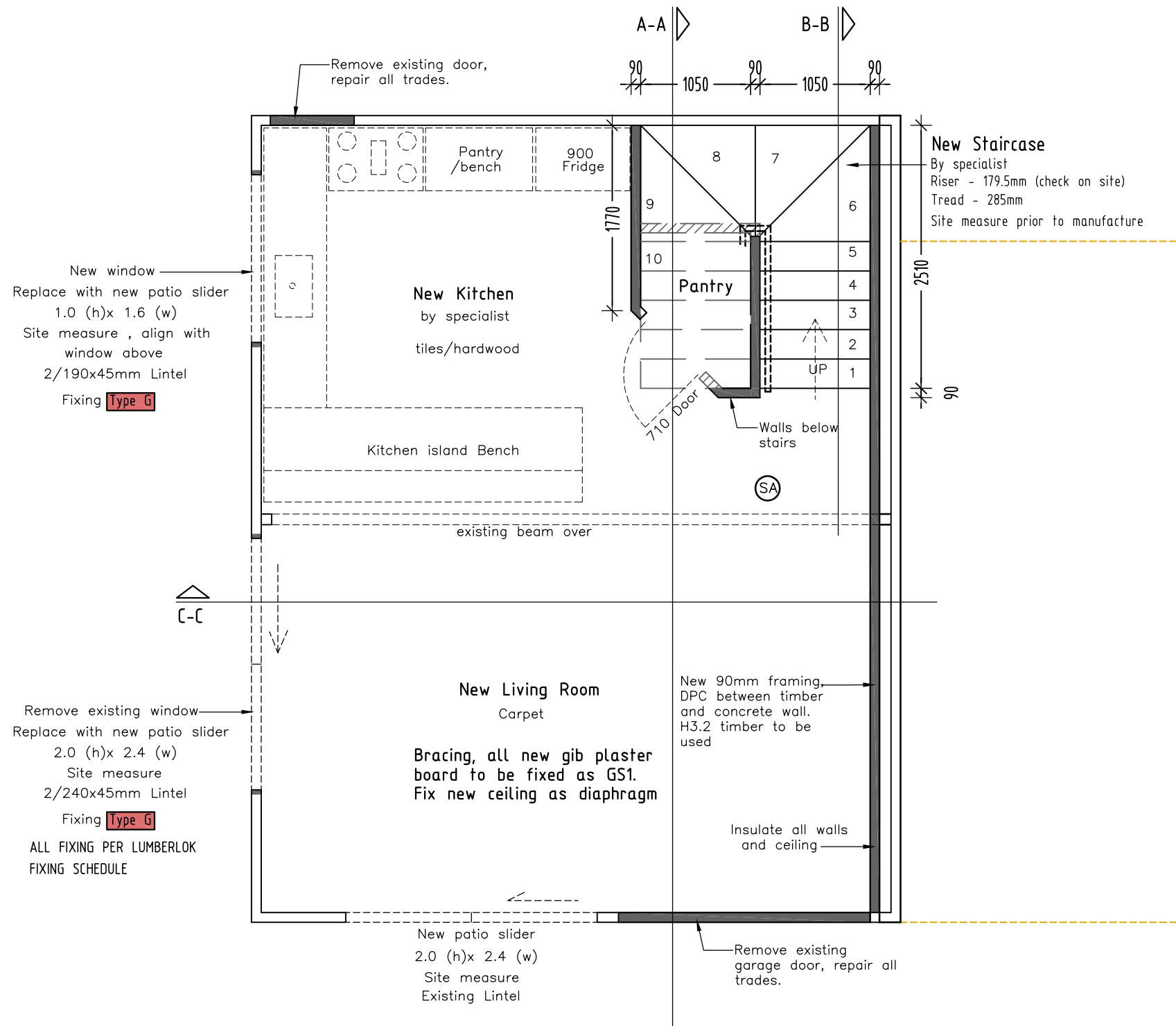
IMPORTANT for builder and owner ● Site measurements & heights to be checked, notify of any difference. ● DO not scale drawings ● Check engineers details. ● Obtain a council site inspection after initial setout, check yard setbacks, height restrictions & cone lines ● Adhere to all products applications. ● Timber treatment on floor plan notes ● Adhere to product maintenance recommendation ● Refer to consent conditions ● The main contractor/ builder/tradesman are fully responsible for all waterproofing detail for all product applications extra details required for waterproofing to be provided by a independent licensed specialist water-proofer & flashing detailer who will be appointed by the applicable trade. ● If in doubt in any matter, ask the designer for help. ● Contractor / project manager must provide owner with PS4 and trade memorandums per consent immediately on completing of work.

SITE DETAILS

LOT 4, DPS 44561
650B HOROTIU ROAD, TE KOWHAI
CLIENT DETAILS
MICHIEL & VANDGHIE BADENHORST
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NO:0720 Print A3
COVER PAGE /SITE
DWG: 1
(20/04/2020)
Work only from council approved drawings

WIND ZONE : - HIGH
EARTHQUAKE ZONE - ZONE 1
DURABILITY ZONE - ZONE B



GROUND FLOOR PLAN (existing garage converted into new living)
 SCALE 1:50
 RE :

Infill Framing
 Existing Framing
 90mm Framing

- GROUND FLOOR NOTES:**
- Domestic smoke alarms: Allow for smoke alarms on or near ceilings in accordance with AS/1670 & manufactures instructions on escape routes within the household/unit or level containing sleeping spaces. Smoke alarms must be located within 3m of all bedroom doors and be audible to the occupants on the other side of any door. SMOKE ALARM SENSOR
 - All floor covering as indicated. (Discuss with owner)
 - Stud height to comply with table 8.2 NZS 3604.2011
 - Insulation - R2.2 (walls) & R3.2 (ceilings).
 - Insulation to form complete envelope.
 - GIB lining to internal walls. GIB aqualine to wet areas.
 - Doors heights per owner.
 - Air extraction & venting: to be fitted to all bathrooms, separate wet areas and laundry spaces and fitted per manufactures instructions. Above all hobs and stoves. All exterior outlets to be vermin & weather proof and fitted per manufacture instructions and recommendations - Kitchen to comply with NZBS G3/AS1.
 - Proprietary manufacture shower - Obtain PS4 with installation.
 - All tiled wet areas per Wet-Seal Complete water proof system or similar , OBTAIN PS4 FOR ALL WATERPROOFING WORK.
 - Laundry per G2/AS1 to residential - provide tub with hot and cold, washing machine fixture to drain to tub. Tumble dryer require exterior venting must be to manufacture specifications.
- WINDOW JOINERY NOTE: (Shown Height x Width)**
- Check lintel and sill heights with owner prior to manufacturing of framework.
 - Restricters to all window openings below 1000mm from FFL and with outside fall height greater than 1000mm.
 - Double glazing as per council requirements.
 - Bathroom glazing to comply with NZS4223.3.
 - All aluminium to be powder coated, colour per owner.
 - Site measure prior to manufacturing.
 - Finish with timber architrave on inside.
- INTERNAL STAIRS:**
- Tread min 285mm + Nosing.
 - Risers Ground floor @ 179.5mm (CHECK ON SITE)
 - By specialist manufacture. (carpet finish)
 - Handrails : to be 50mm Grabable handrail, either timber, aluminium powder coated.
 - After GiB, min clear width 850mm, handrail to wall finish.
 - Balustrade and stair railing to be climb proof to height of 1m. obtain PS4.
 - Balustrade - timber framing with timber capping, min 1.1m high.
 - Check stair head height clearance, min 2m at all times all over.
 - Handrails shall be positioned between 900mm and 1m above the pitch line.
 - Ensure min handrail to wall spacing.
 - Heights - note FFL levels on plans.
 - Angle - per finish floor heights on plans
 - Risers 15mm Structural ply.
 - Treads 21mm structural ply.
 - Stringer x40mm structural ply.
- Drawings are indicative only, specific manufacture to provide own working drawings per owners choice of finish materials.
 Manufactures to provide producer statement on installation.
ALL STAIRCASES AND HANDRAILS TO COMPLY WITH : D1 ACCESS ROUTES.

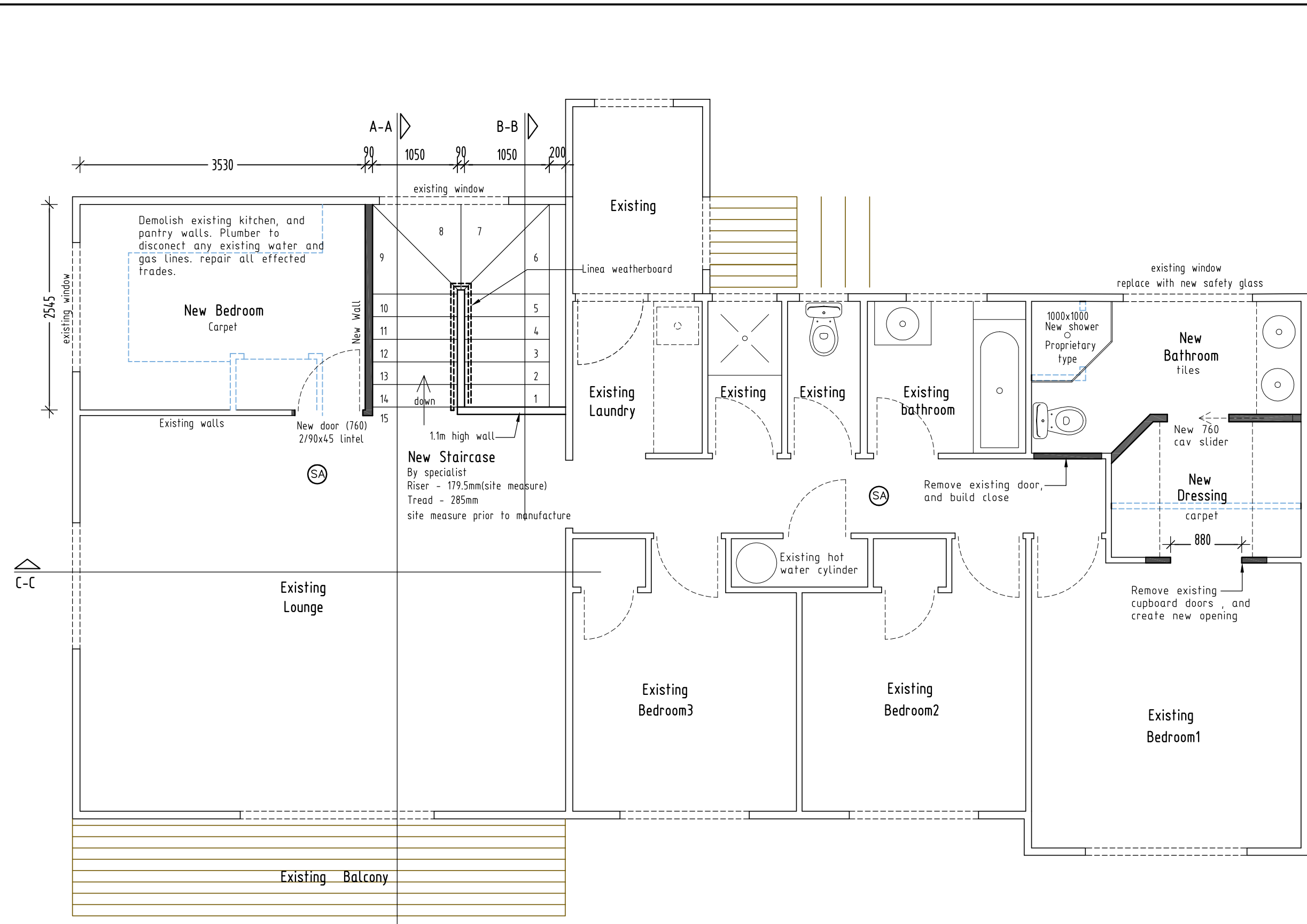
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NO:0720 Print A3
LOWER FLOOR PLAN
 DWG : 2
 (20/04/2020)
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STUDS: lower of 2 storey (High Wind) - H1.2
 2.4 High Stud : 90 x 45mm studs @ 600 c/c
 2.55 High Stud : 90 x 45mm studs @ 400 c/c



1 FIRST FLOOR PLAN

SCALE 1:50
RE :

TOTAL FIRST FLOOR AREA : 112sqm (Framing)

- Removed walls
- Infill Framing
- Existing Framing
- 90mm timber framing

- GROUND FLOOR NOTES:**
- Domestic smoke alarms: Allow for smoke alarms on or near ceilings in accordance with AS/1670 & manufactures instructions on escape routes within the household/unit or level containing sleeping spaces. Smoke alarms must be located within 3m of all bedroom doors and be audible to the occupants on the other side of any door. SMOKE ALARM SENSOR
 - All floor covering as indicated. (Discuss with owner)
 - Stud height to comply with table 8.2 NZS 3604.2011
 - Insulation - R2.2 (walls) & R3.2 (ceilings).
 - Insulation to form complete envelope.
 - GIB lining to internal walls. GIB aqualine to wet areas.
 - Doors and windows joinery per schedule.
 - Air extraction & venting: to be fitted to all bathrooms, separate wet areas and laundry spaces and fitted per manufactures instructions. Above all hobs and stoves. All exterior outlets to be vermin & weather proof and fitted per manufacture instructions and recommendations - Kitchen to comply with NZBS G3/AS1.
 - Propriety manufacture shower - Obtain PS4 with installation.
 - All tiled wet areas per Wet-Seal Complete water proof system or similar , OBTAIN PS4 FOR ALL WATERPROOFING WORK.
 - Wardrobe shelving per owner.
 - shower glass door per specialist, obtain PS4.
- TIMBER TREATMENT:**
- Frame manufacture and builders to adhere to the current Department of Building and Housing (DBH) policy on timber treatment.
 - Care must be taken in Areas of higher risk and higher level of timber treatment to be used where applicable.
 - DPC between all timber & concrete.
 - Check lintel and sill heights with owner.

- INTERNAL STAIRS:**
- Tread min 285mm + Nosing.
 - Risers Ground floor @ 179.5mm (CHECK ON SITE)
 - By specialist manufacture. (carpet finish)
 - Handrails : to be 50mm Grabable handrail, either timber, aluminium powder coated.
 - After GiB, min clear width 850mm, handrail to wall finish.
 - Balustrade and stair railing to be climb proof to height of 1m. obtain PS4.
 - Balustrade - timber framing with timber capping, min 1.1m high.
 - Check stair head height clearance, min 2m at all times all over.
 - Handrails shall be positioned between 900mm and 1m above the pitch line.
 - Ensure min handrail to wall spacing.
 - Heights - note FFL levels on plans.
 - Angle - per finish floor heights on plans
 - Risers 15mm Structural ply.
 - Treads 21mm structural ply.
 - Stringer x40mm structural ply.
- Drawings are indicative only, specific manufacture to provide own working drawings per owners choice of finish materials. Manufactures to provide producer statement on installation. ALL STAIRCASES AND HANDRAILS TO COMPLY WITH : D1 ACCESS ROUTES.

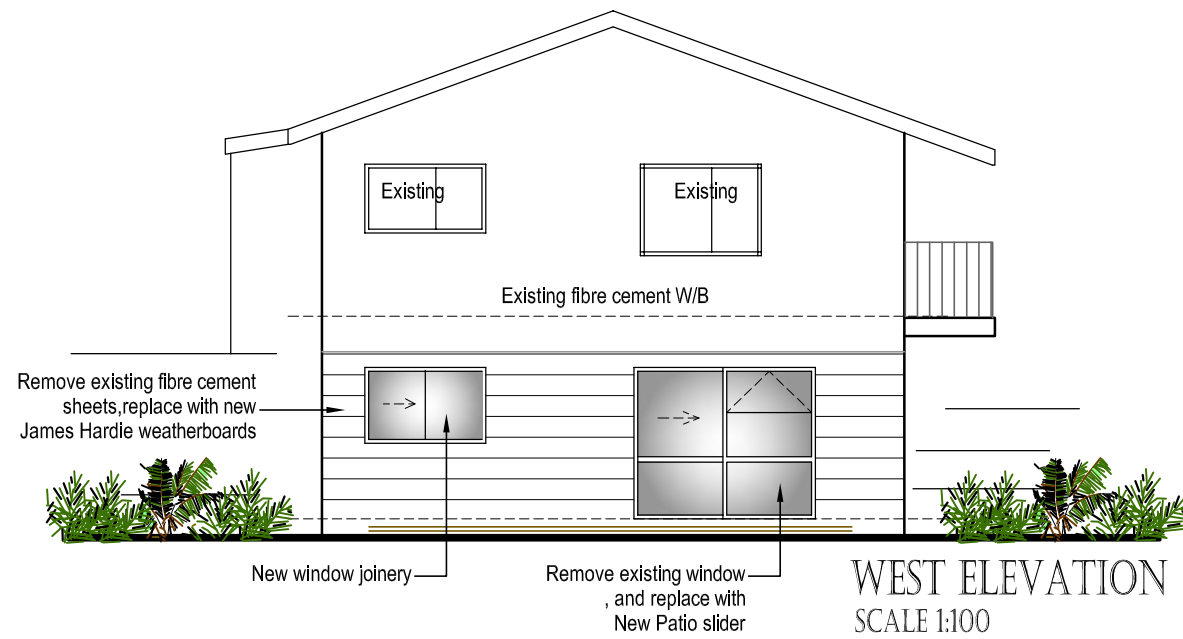
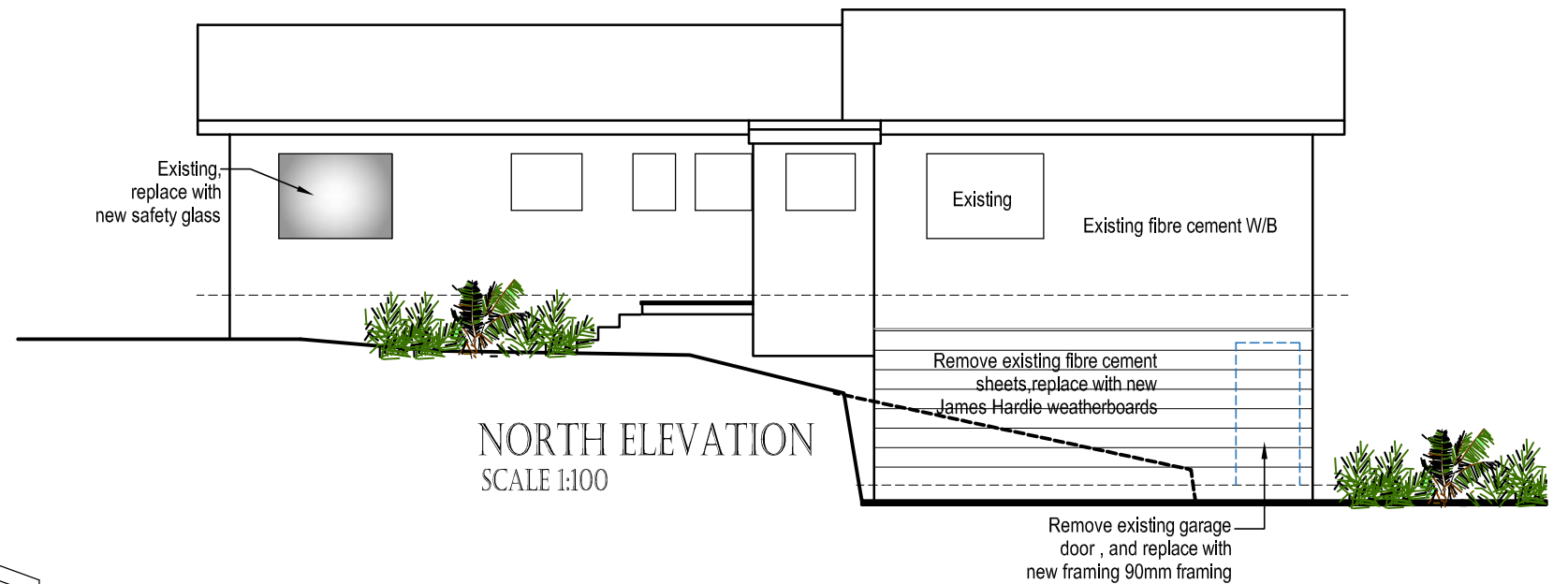
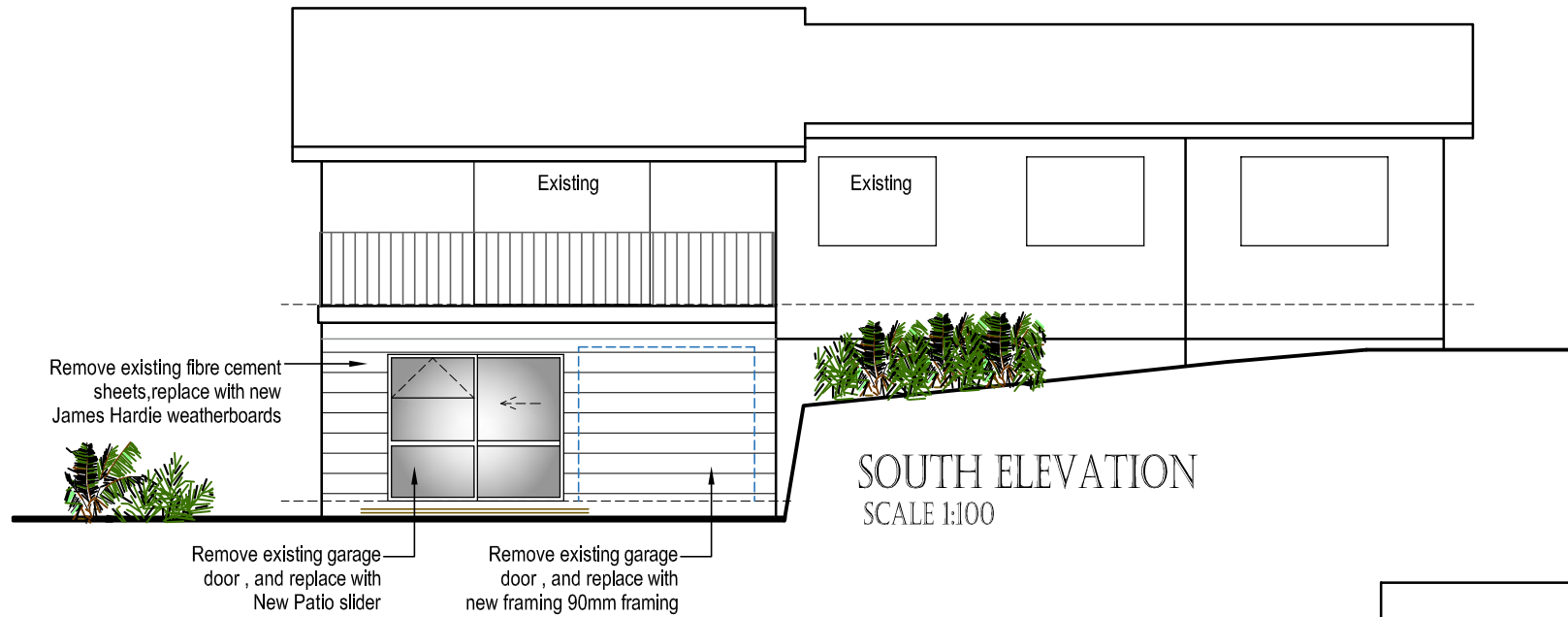
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NO:0720 Print A3
UPPER FLOOR PLAN
 DWG : 3
 (20/04/2020)
 Work only from council approved drawings

STUDS: Load Bearing - Roof (High Wind) - H1.2
 2.4 High Stud : 90 x 45mm studs @ 600 c/c
 2.55 High Stud : 90 x 45mm studs @ 400 c/c

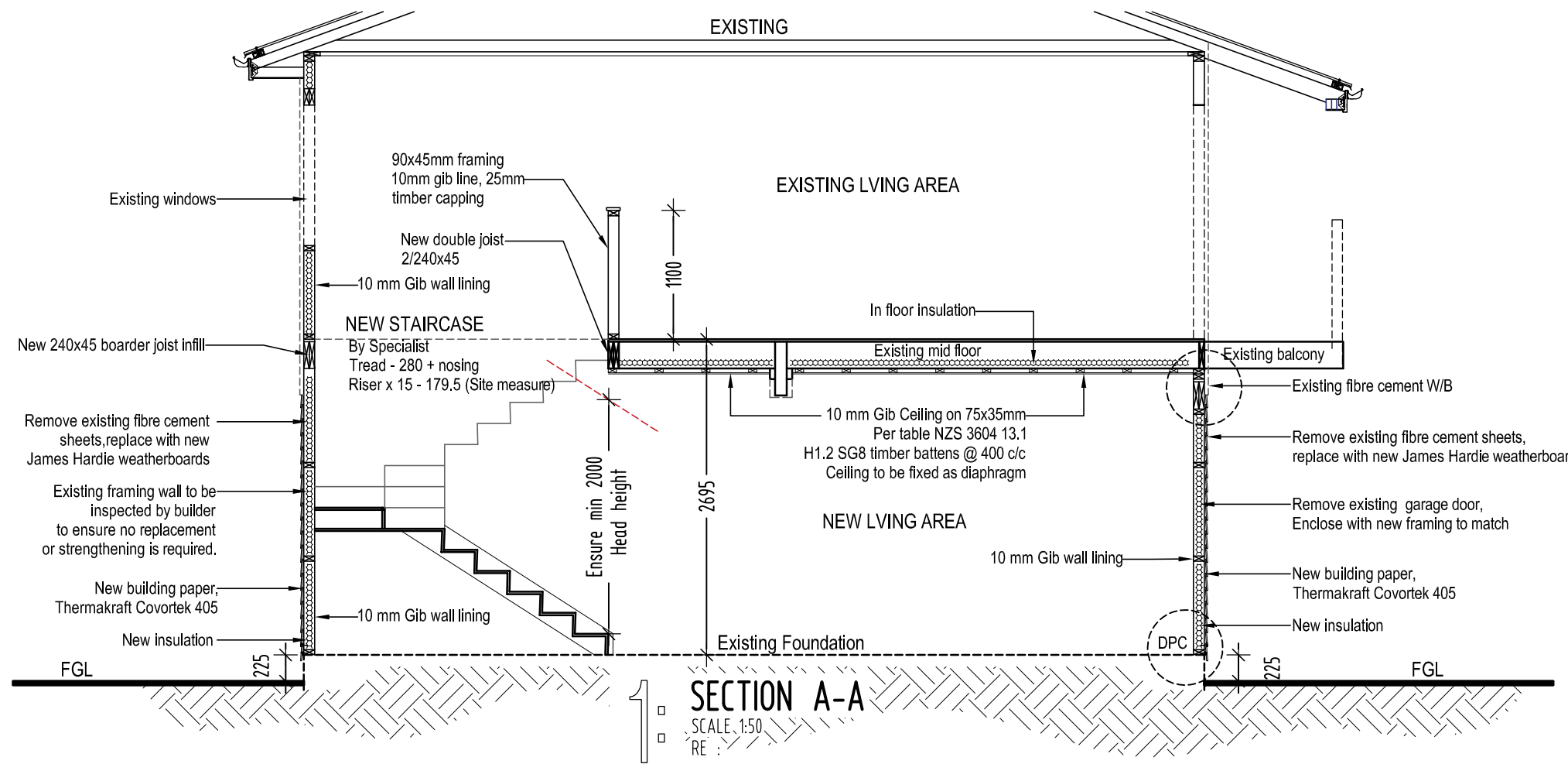


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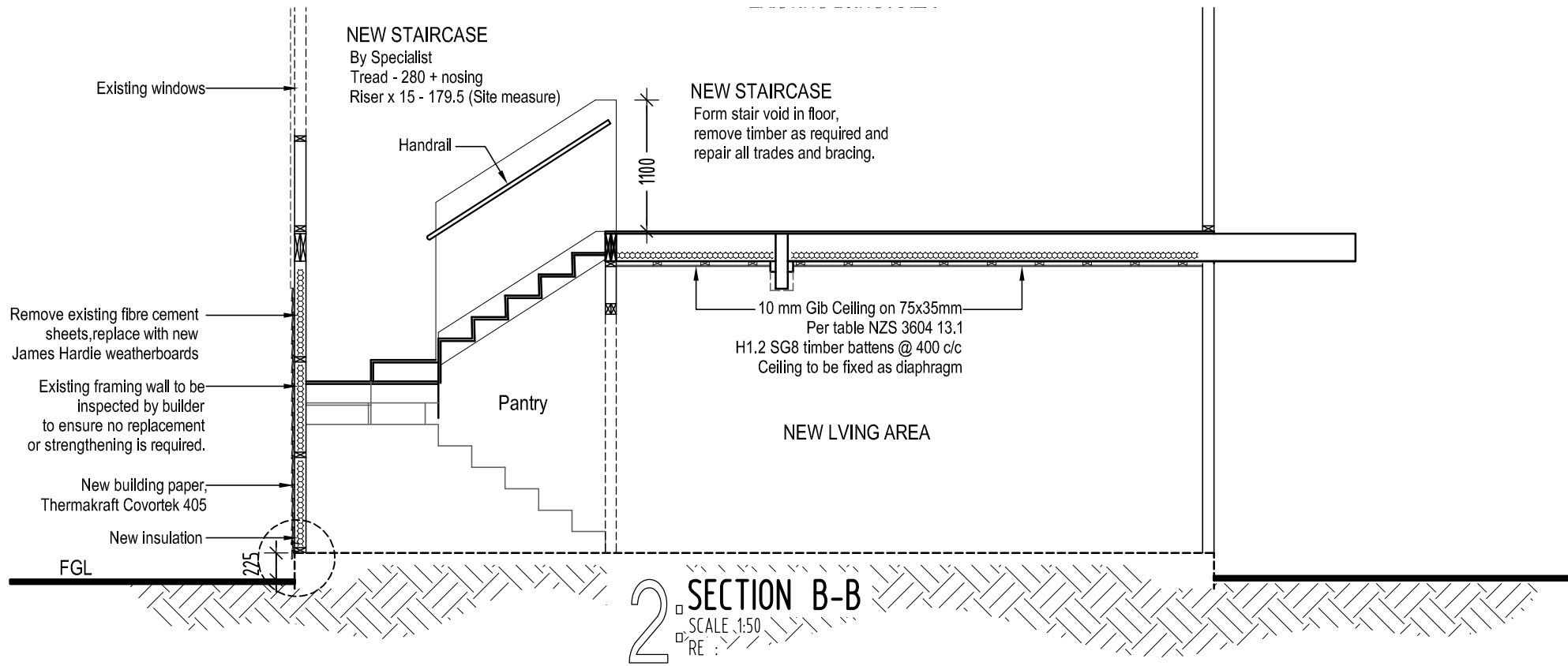
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NO:0720 Print A3
ELEVATIONS 1
 DWG : 4
 (20/04/2020)
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SECTION A-A
SCALE: 1:50
RE :



SECTION B-B
SCALE: 1:50
RE :

SECTION NOTES:

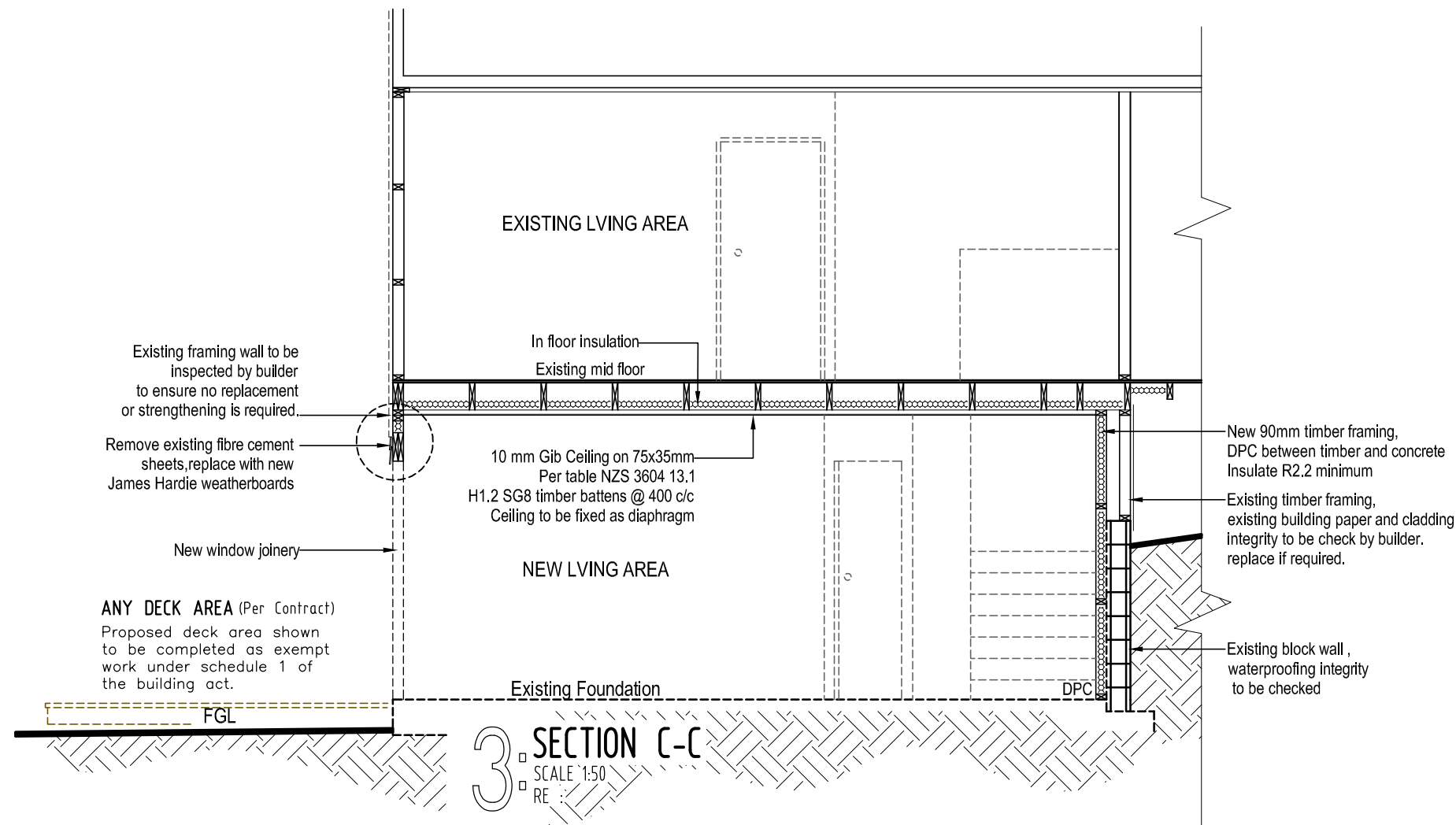
- Aqua line in bathroom and wet areas , 2 coats of enamel paint to all un tiled surfaces.
- D.P.C Under all walls between timber and concrete.
- All stud heights to comply with table 8.2 NZS 3604:2011
- Ensure minimum double studs between all door and window to wall corner junctions.
- DPC between all timber and steel.
- All paint by specialist applicator.
- Insulation as per H1 calculations
 - Roof/Ceiling R3.2
 - Wall/Frames R2.2
- also refer to BRANZ home insulation guide, NZS 4218, AS/NZS 2918.
- All cladding to be on cavity and to comply with the matrix system.
- Note that Council now require that the producer statement must be issued by a person or company on their approved list of producer statement Authors.
- All internal walls are Gib Lined, plastered to Level 4 and painted.
- All framing and trusses per manufacture design.
- All fixing per 3604 unless shown specifically different.
- Timber 60x10mm architrave to all windows & door jambs.
- 75mm Gib Cove.
- 60x10mm Timber skirting to all Gib Walls.
- Round corners to GIB finish where possible.
- All external deck edge and steps NZS D1-AS1/2 - Slip Resistance.

Where existing cladding is to be repaired or replace.
The Existing framing wall to be inspected by builder to ensure no replacement or strengthening is required.

DETAIL CLARIFY :

- Refer to notes below and details attached.
- All flashing's details per applicable product manufacture specifications.
- All connection details per applicable product manufacture specifications.
- All waterproofing details per applicable product manufacture specifications.
- Any specific details shown in this set of drawings.

<p>James White (BP-112297 D2) styledesigns@hotmail.com 027 274 5286</p>	<p>IMPORTANT for builder and owner ● Site measurements & heights to be checked, notify of any difference. ● DO not scale drawings ● Check engineers details. ● Obtain a council site inspection after initial setout, check yard setbacks, height restrictions & cone lines ● Adhere to all products applications. ● Timber treatment on floor plan notes ● Adhere to product maintenance recommendation ● Refer to consent conditions ● The main contractor/ builder/tradesman are fully responsible for all waterproofing detail for all product applications extra details required for waterproofing to be provided by a independent licensed specialist water-proofer & flashing detailer who will be appointed by the applicable trade. ● If in doubt in any matter, ask the designer for help. ● Contractor / project manager must provide owner with PS4 and trade memorandums per consent immediately on completing of work.</p>	<p>SITE DETAILS</p>	<p>LOT 4, DPS 44561 650B HOROTIU ROAD , TE KOWHAI</p>	<p>NO:0720 Print A3</p>
<p>STYLE ARTISTIC ARCHITECTURAL DESIGNS LTD</p>	<p>JL ARCHITECTURAL DESIGNS LTD 021 855 103</p>	<p>CLIENT DETAILS</p>	<p>MICHEL & VANDGHIE BADENHORST VANDGHIE@GMAIL.COM 022 431 0360</p>	<p>SECTIONS 1 DWG : 5 (20/04/2020)</p>
<p>Work only from council approved drawings</p>				

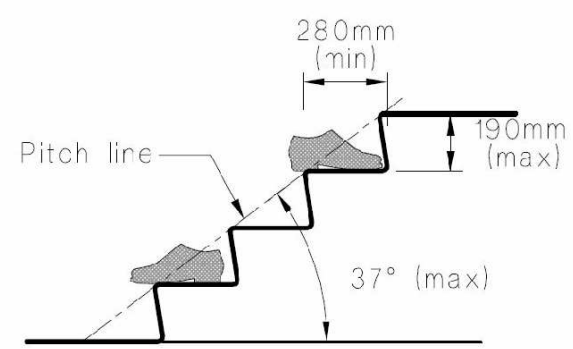


SECTION NOTES:

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 - Round corners to GIB finish where possible.
 - All external deck edge and steps NZS D1-AS1/2 - Slip Resistance.

Where existing cladding is to be repaired or replace. The Existing framing wall to be inspected by builder to ensure no replacement or strengthening is required.

Service stairways and minor private stairways



Common stairways and main private stairways

Figure 12: Measurement of Rise and Tread Depth
Paragraphs 4.1.2 and 4.1.6

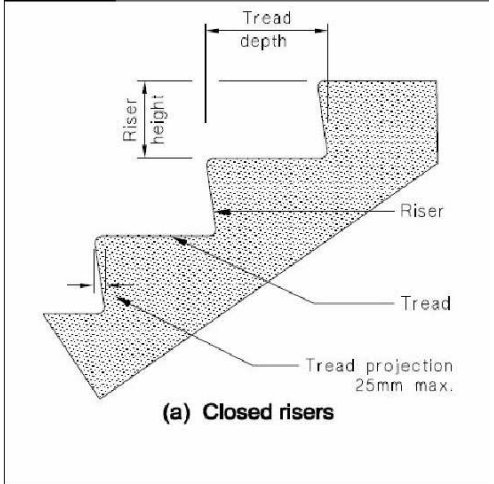
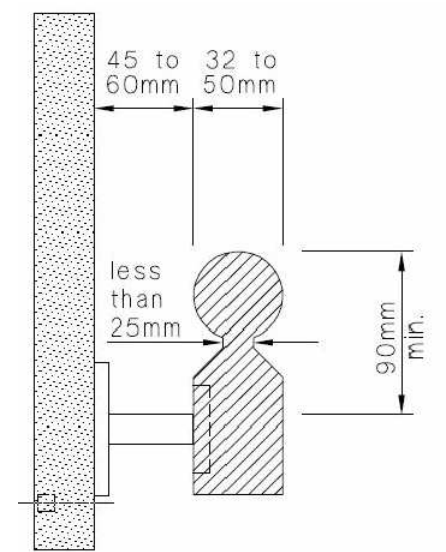


Table 6: Design Limits for Stairs
Paragraphs 4.1.1, 4.1.4 a), 4.4.2, 4.5.1 a) and Figure 17

Stair	Maximum pitch	Maximum riser height (mm)	Minimum tread (mm)
Service, minor private	47°	220	220
Secondary private	41°	200	250
Common and main private	37°	190	280
Accessible	32°	180	310



DETAIL CLARIFY :

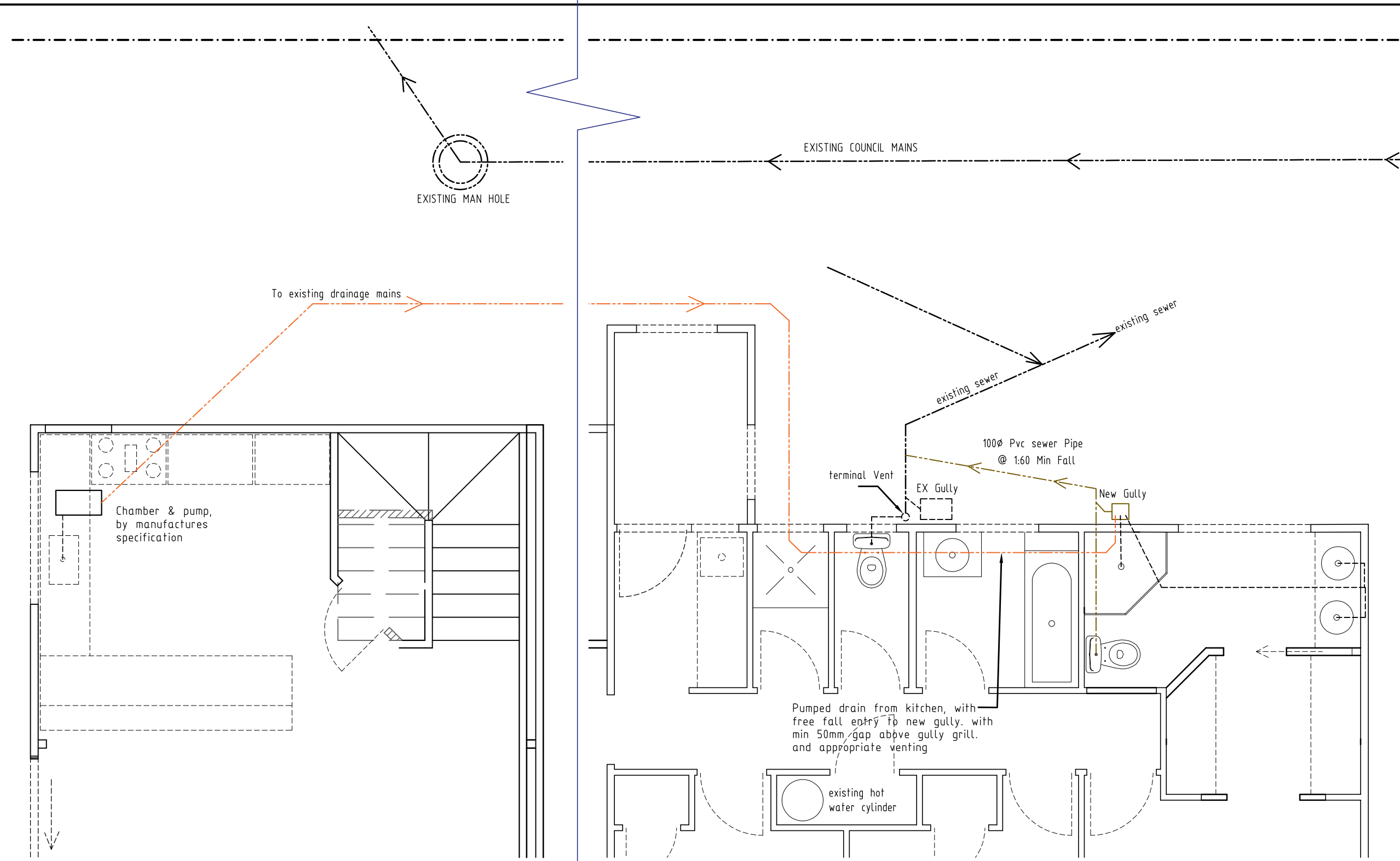
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NO:0720 Print A3
SECTIONS 2
 DWG : 6
 (20/04/2020)
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- DRAINAGE NOTES:**
- All material to comply with NZ building code.
 - Compliant water supply per G12
 - Compliant foul water supply per G13, inclusive of sanitary and drainage system installed.
 - Plumbing and drainage to comply with AS / NZ 3500
 - Connect storm water to council connection per design.
 - All fittings and tap ware per owner.
 - Drainage contractor to provided producer statement.
 - Cover above all drainage pipes to be 300mm min.
 - All drainage pipes with a cover of less than 300mm should be enclosed in 100mm concrete all round.
 - Gas installation per G10 & G11.
 - Provide down pipes as per E1, Table 5 & paragraph 4.2.1.
 - Drain layer to provide ass build drain plan if altered in any way.
 - Prior to setting FFL check connection depth of sewer to determine fall and alter on as build drawings.
 - The proposed layout is design intent and drainlayer and plumber remain responsible and to ensure that the AS/ NZ 3500 codes are achieved.
 - Per G12 connect building to potable water connection with isolation point.
 - The Gas infinity - NZS 5261, Fig G2 & G3 minimum clearance, when applicable.
 - RP at both sides where sewer line is under the foundation slab.
 - Low flow fixtures to be incorporated to all kitchen, laundry, bathrooms and extra toilets.
 - Polybutylene (Hot and Cold) Pipes to be used in accordance with G12/AS1.
 - Made to AS/NZS 4130: Polyethylene Pipes for Pressure Applications
 - Use acceptable applications to strengthen any joist affected by plumbing pipes.
 - Gutter to have a cross sectional area of 6300mm² per E1/AS1
 - Fit safe tray below HWC per G12 sec6.11.3.
 - Roof storm water discharge to gutter per E1 / As1 fig15.

NOTES:
PLUMBER / DRAINLAYER TO INVESTIGATE EXISTING DRAINS AND COUNCIL MAIN CONNECTION.
NEW KITCHEN DRAINAGE TO BE PUMPED TO THE EXISTING ON SITE MAINS.

Drainage Legend	
---	Sewer
- - -	Storm water
○	Downpipe - DP
□	Gully
DS	Discharge Stack - 100 ø
RP	Rodding Point
IP	Inspection Point
X	Garden Tap
TV	Terminal Vent- 50 ø(min)
ORG	Overflow relief gully
⊗	Top roof down pipe spreader

PLUMBING & DRAINAGE (GROUND FLOOR)
 SCALE 1:100
 RE :

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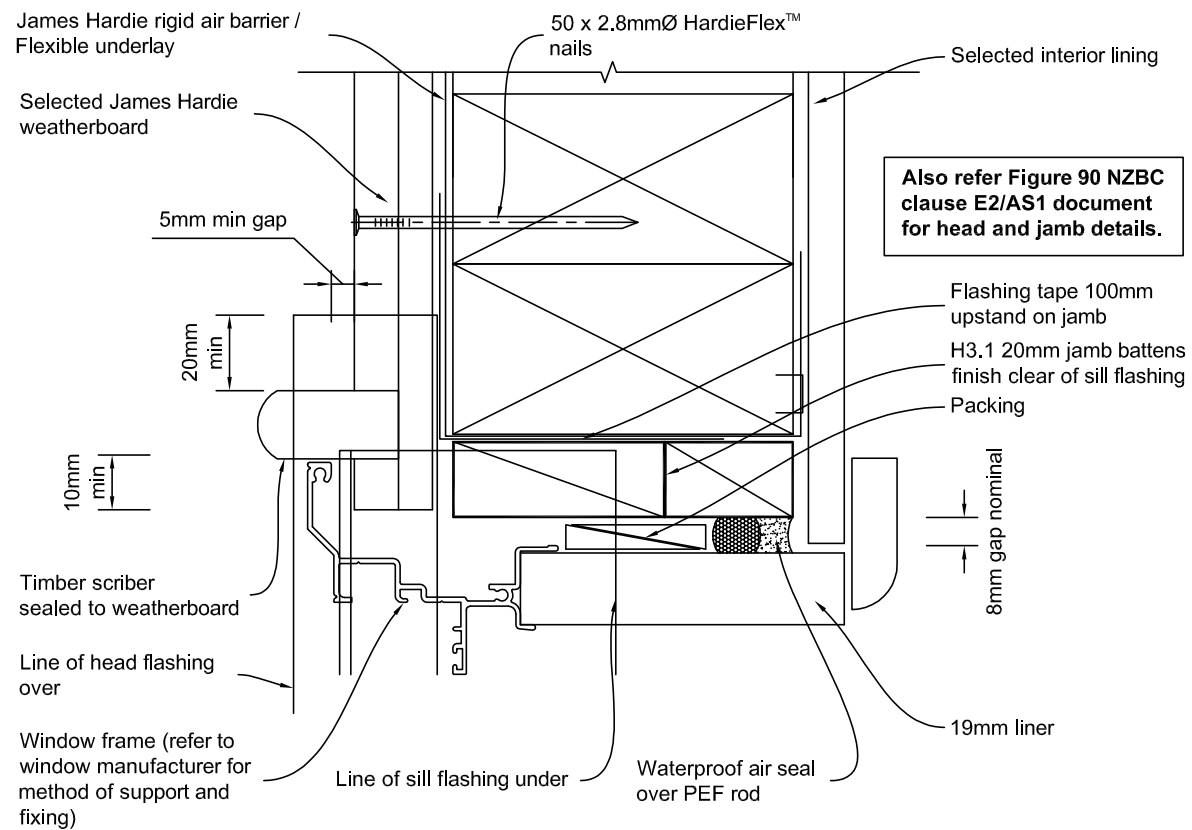
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PLUMBING & DRAINAGE
 DWG : 7
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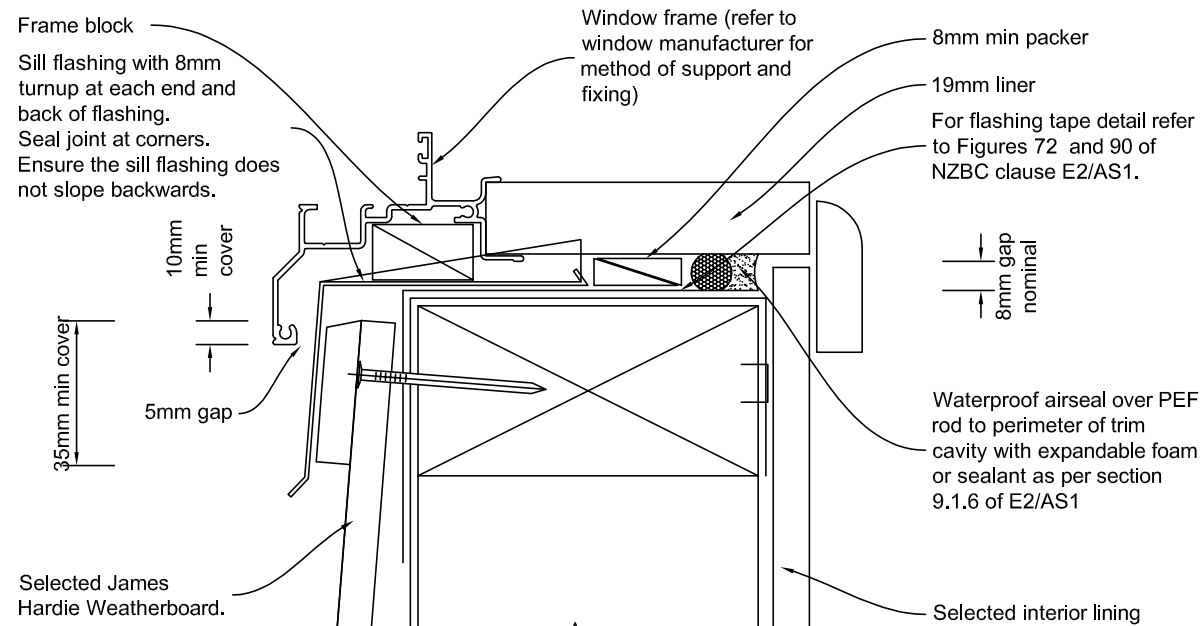
WASTE PIPE SIZES:

- ALL DRAINS - 100mm Ø
- PIPES IN CONCRETE - 65mm Ø
- IN TIMBER FRAMES - 40mm Ø
- MAIN Discharge Vent - 80mm Ø



DIRECT FIX JAMB FLASHING WITHOUT FACINGS

Scale 1:2



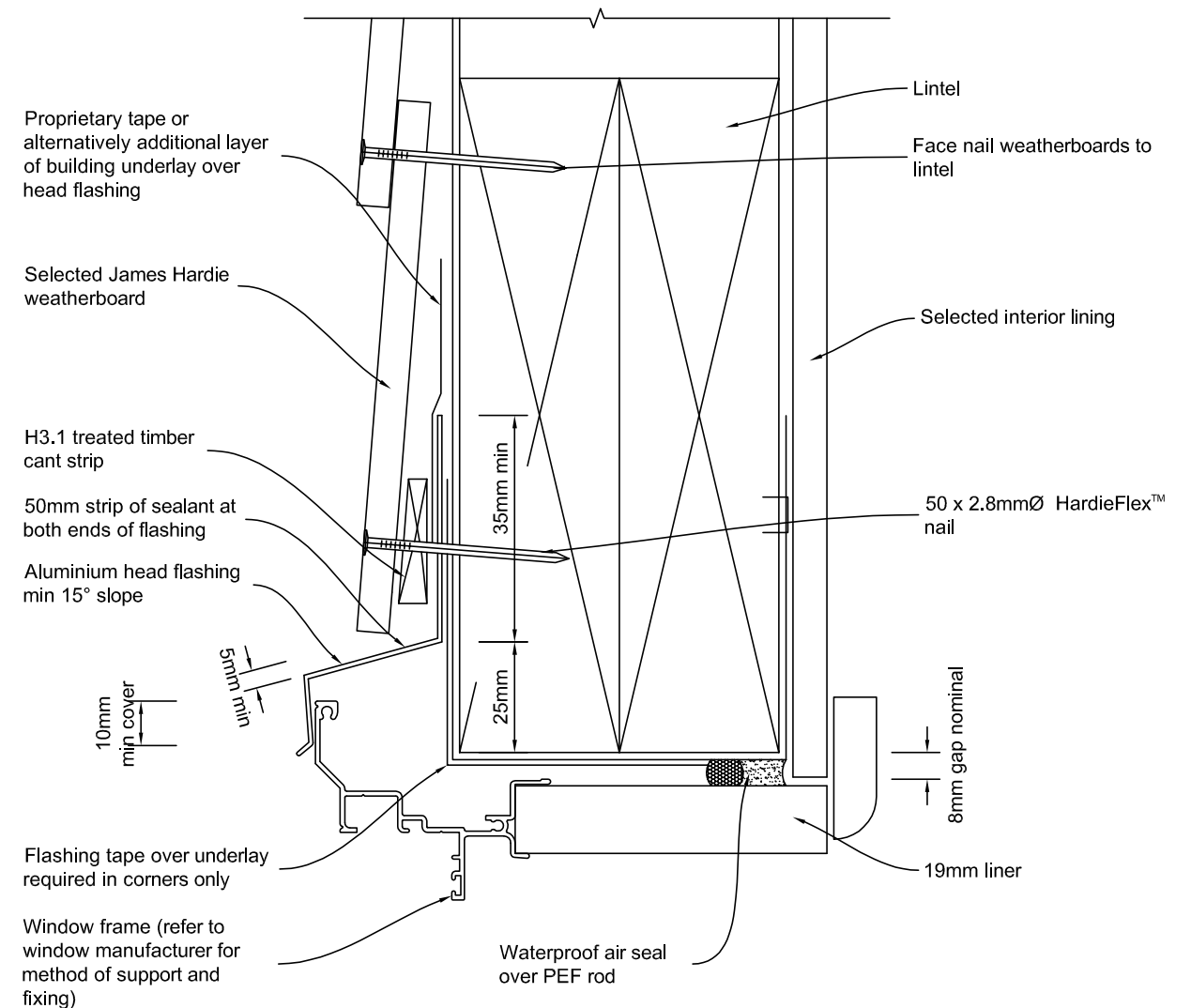
General notes for materials selection

1. Flashing materials must be selected based on environmental exposure, refer to NZS 3604 and Table 20 of NZBC 'E2/AS1'.
2. Building underlay must comply with acceptable solution 'E2/AS1'.
3. Flashing tape must have proven compatibility with the selected building underlay and other materials with which it comes into contact.

Refer to the manufacturer or supplier for technical information for these materials.

DIRECT FIX WINDOW SILL FLASHINGS WITHOUT FACINGS

Scale 1:2



DIRECT FIX ONE PIECE HEAD FLASHING WITHOUT FACINGS

Scale 1:2

Note:
Sealant between head flashing and window flange in VH and EH wind zones and SED projects. Refer Figure 71 of E2/AS1

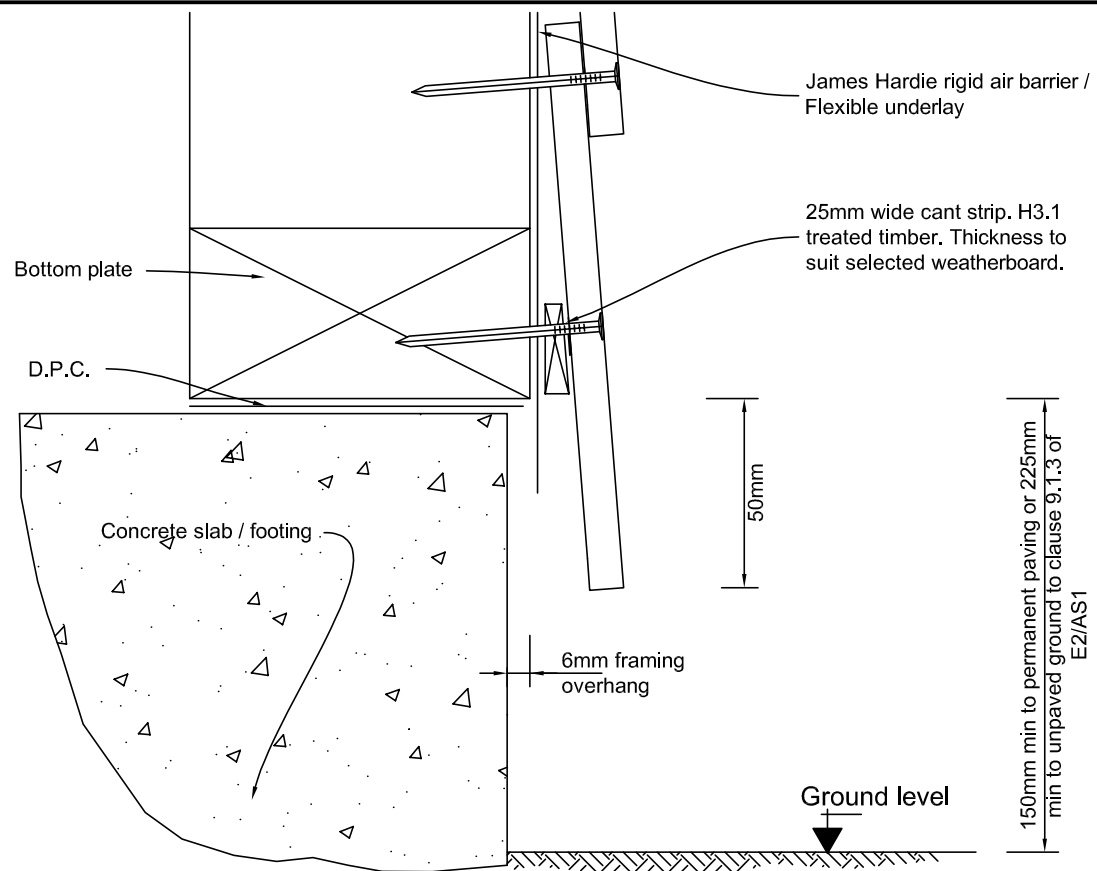
James White (BP-112297 D2) styledesigns@hotmail.com
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IMPORTANT for builder and owner • Site measurements & heights to be checked, notify of any difference. • DO not scale drawings
• Check engineers details. • Obtain a council site inspection after initial setout, check yard setbacks, height restrictions & cone lines
• Adhere to all products applications. • Timber treatment on floor plan notes • Adhere to product maintenance recommendation •
Refer to consent conditions • The main contractor/ builder/tradesman are fully responsible for all waterproofing detail for all product
applications extra details required for waterproofing to be provided by a independent licensed specialist water-proofer & flashing
detailer who will be appointed by the applicable trade. • If in doubt in any matter, ask the designer for help. • Contractor / project
manager must provide owner with PS4 and trade memorandums per consent immediately on completing of work.

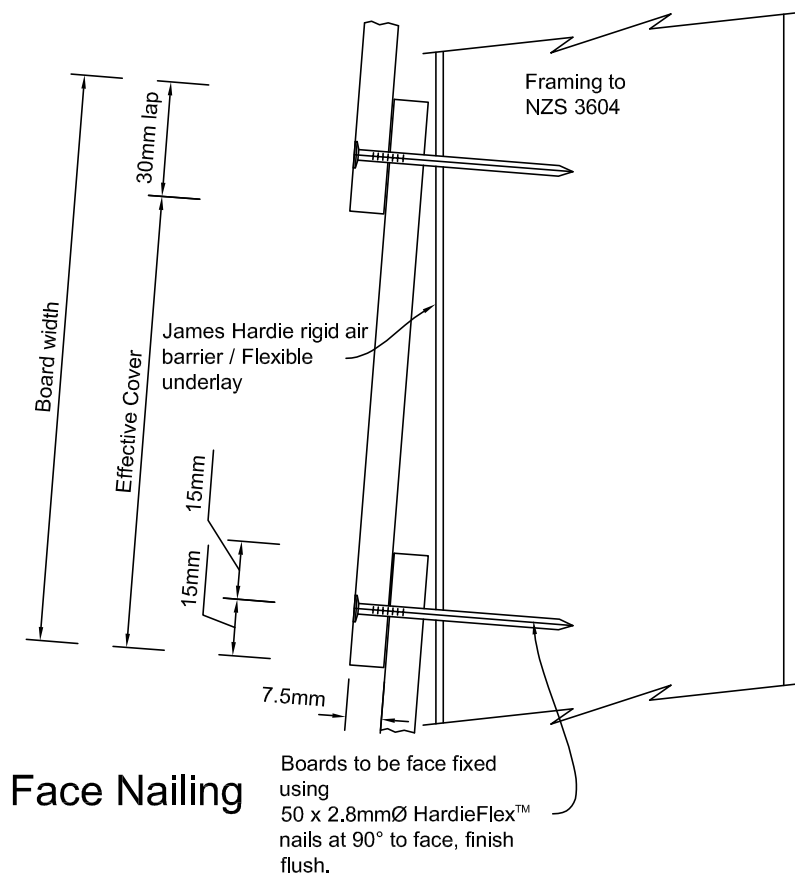
SITE DETAILS

LOT 4, DPS 4456 1
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MICHIEL & VANDGHIE BADENHORST
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022 431 0360

NO:0720 Print A3
DETAILS 1
DWG : 8
(20/04/2020)
Work only from council approved drawings



DIRECT FIX CONCRETE FOOTING Scale 1:2

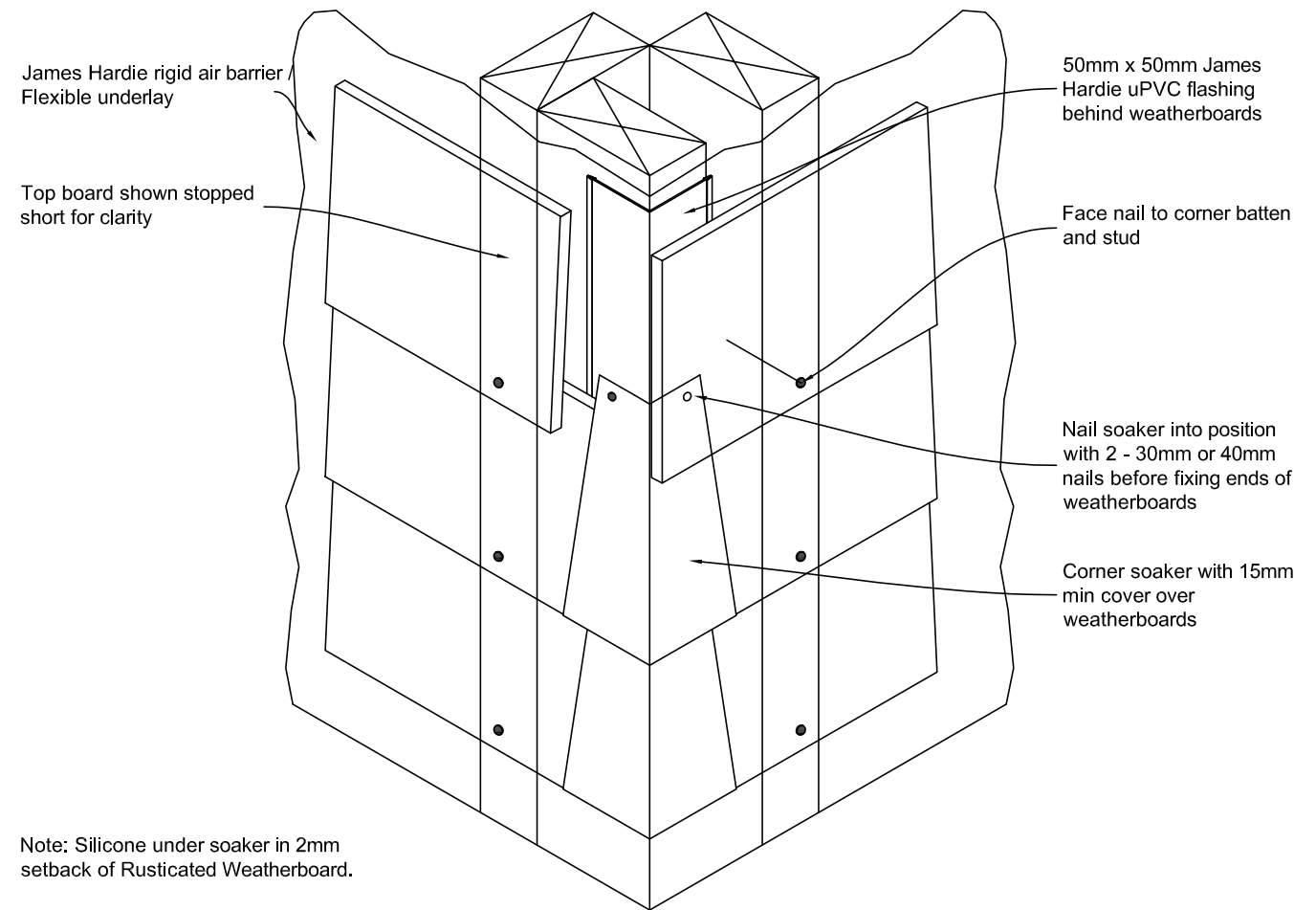


Face Nailing

Boards to be face fixed using 50 x 2.8mmØ HardieFlex™ nails at 90° to face, finish flush.

DIRECT FIX WEATHERBOARD FIXING

Scale 1:2

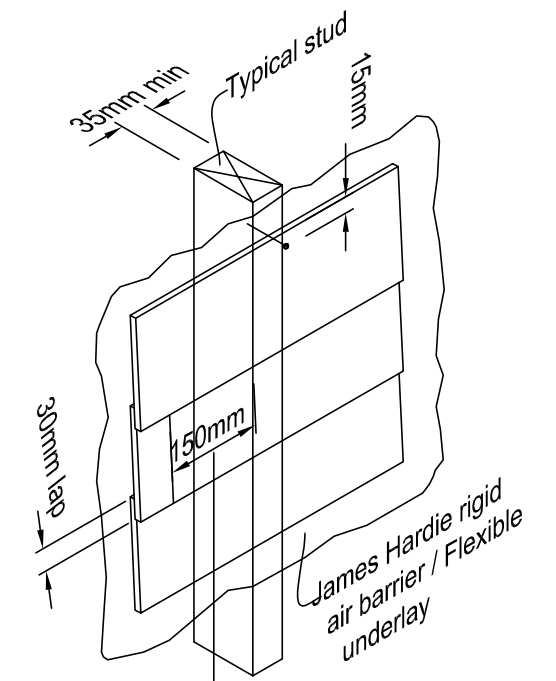


Corner Soaker

Soaker material	Nail material
Aluminium or Galvanised Steel	Hot dip galvanised or Stainless Steel as required for durability

DIRECT FIX EXTERNAL CORNER SOAKER

Scale 1:5



Concealed back soaker joint in weatherboard to be 150mm minimum from side of stud. Joints must be staggered by 600mm minimum

Jointing Off Stud

Scale 1:10

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IMPORTANT for builder and owner Site measurements & heights to be checked, notify of any difference. DO not scale drawings
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SITE DETAILS

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DETAILS 2
 DWG : 9
 (20/04/2020)
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